

The following reference notes must be read in conjunction with the architectural plans and construction notes, contained herein. Some of these notes may not be applicable to the scope of works.

STORMWATER DRAINS.

SUPPLY, INSTALL AND CONNECT NEW STORMWATER DRAINS FROM NEW DOWNPIPES TO EXISTING SERVICE AS NECESSARY.
NOTE: BUILDER ASSUMES AN EXISTING STORMWATER DRAIN SYSTEM CURRENTLY EXISTS ON SITE AND IS DISCHARGED TO A LEGAL POINT. BUILDER HAS MADE NO ALLOWANCE TO PROVIDE NEW **SWD** SYSTEM AND / OR LEGAL POINT OF DISCHARGE SHOULD NO SYSTEM EXIST

ASBESTOS.

UNLESS OTHERWISE SPECIFIED IN THESE SPECIFICATIONS. NO ALLOWANCE HAS BEEN MADE FOR THE REMOVAL OR HANDLING OF ANY ASBESTOS PRODUCTS. SHOULD ANY ASBESTOS BE ENCOUNTERED ANY COSTS INVOLVED IN REMOVING OR HANDLING THESE PRODUCTS WILL BE THE CLIENTS RESPONSIBILITY.

GUTTERS AND DOWNPIPES.

ALL GUTTERS AND DOWNPIPES HAS BEEN ALLOWED AS ZINCALUME QUADRANT DURAKOTE. **NO** ALLOWANCE HAS BEEN MADE TO MATCH EXISTING ALUMINIUM GUTTERS AND DOWNPIPES UNLESS SPECIFICALLY NOTED OTHERWISE.

GLAZING.

ALL NEW GLAZING TO COMPLY WITH **AS 1288 (2006) - GLASS IN BUILDINGS.** WINDOW SIZE & CONFIGURATION SUBJECT TO MANUFACTURERS CONSTRAINTS.

DOOR FURNITURE.

INSTALLATION OF MORTICE LOCKS WILL BE AT EXTRA CHARGE.

BASIX Certificate

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3-star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3-star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3-star water rating.

Insulation requirements.

Construction Additional insulation required (R-value)

Floor above Existing Dwelling or Building

NIL

External Wall: external insulated façade System (EIFS) (façade panel: 75mm)

NIL

Flat Ceiling, Pitched Roof:

Ceiling: R2.50 (up), roof: foil/sarking and other specification are medium (solar absorptance 0.475 - 0.70)

Windows and glazed doors glazing requirements

W01, W02, W03, & W04

Improved Aluminium, Single Clear, (U-value: 6.44, SHGC: 0.75)

Skylights glazing requirements

S1

Aluminium, Moulded Plastic Single Clear, (U-value: 6.21, SHGC: 0.808)

ELECTRICALS

EXISTING CABLES WILL BE INSPECTED WHEN WORK COMMENCES. ANY UPGRADE OR RECTIFICATION WORK REQUIRED WILL BE QUOTED ON SITE. EXISTING POWER & LIGHT POINTS DISCONNECTED AS A RESULT OF RENOVATION WORK WILL NOT BE RELOCATED.

METER BOX.

NO ALLOWANCE HAS BEEN MADE TO UPGRADE METER BOX.

RELOCATION OF METER BOX.

NO ALLOWANCE HAS BEEN MADE TO RELOCATE EXISTING METER BOX.

EXISTING TREES AND VEGETATION

NO ALLOWANCE HAS BEEN MADE TO CLEAR THE AREA OF THE PROPOSED ADDITION (INCLUDING SCAFFOLDING OR WORK MATERIAL STORAGE BAYS) OF ANY TREES, SHRUBS OR OTHER VEGETATION.

FLOOR REPAIRS.

MAKE GOOD FLOOR WITH ONE PIECE OF TIMBER FLOORING LAID IN THE SAME DIRECTION OF THE WALL BEING DEMOLISHED.

SKYLIGHTS AND SOLAR TUBES.

ACTUAL POSITION MAY CHANGE ON SITE, DEPENDING ON STRUCTURAL CONDITIONS.

ALL TIMBER SIZES ARE NOMINAL

CONCRETE FOOTINGS & SLABS.

NO ALLOWANCE FOR ANY PIERING.

TERMITE TREATMENT.

KORDON OR SIMILAR TERMITE TREATMENT TO EXTERNAL SLAB EDGES AND PENETRATIONS.

Certificate number: **A1762094_02**

CARPORT & AWNINGS

(unless specified)

NO ALLOWANCE HAS BEEN MADE TO REMOVE & RE-ERECT. THIS WILL BE THE CLIENT'S RESPONSIBILITY IF IT RESTRICTS ACCESS TO DELIVER BUILDING MATERIAL OR ERECT SCAFFOLDING. DISCUSS OPTIONS WITH SUPERVISOR.

WHERE EXISTING WALLS ARE TO BE DEMOLISHED

IF THE REMAINING CEILINGS ARE NOT THE SAME LEVEL OR MATERIAL ADDITIONAL REMEDIAL WORKS MAY BE REQUIRED AND MUST BE DISCUSSED WITH YOUR SUPERVISOR

CEMENT RENDER

NO ALLOWANCE HAS BEEN MADE TO REPAIR CRACKED OR FALLEN RENDER AS A CONSEQUENCE OF RENOVATION WORK

SMOKE ALARM.

ALL NEW SMOKE ALARMS TO COMPLY WITH **AUSTRALIAN STANDARDS.**

LANDSCAPING

ANY LANDSCAPING REQUIRED TO COMPLY WITH THE BCA BY OWNER

STACK & VENTS

FINAL POSITION MAY CHANGE DEPENDING ON THE ONSITE CONDITIONS. (TO BE DISCUSSED WITH ADDBUILD SUPERVISOR.)

PATHS & DRIVEWAYS

UNLESS NOTED ON THE PLANS, WHERE CONCRETE AND/OR PAVING IS REQUIRED TO BE CUT OUT & REMOVED IN ORDER TO LAY NEW SEWER OR STORMWATER PIPES **NO** ALLOWANCE HAS BEEN MADE TO REINSTATE AND/OR REPAIR THESE AREAS. ALL REQUIRED REPAIRS WILL NEED TO BE DISCUSSED & QUOTED ON SITE.

AIR CONDITIONING DUCTING.

UNLESS NOTED ON THE PLANS, PLASTERBOARD LINED FRAMING REQUIRED FOR AIR CONDITIONING DUCTING HAS NOT BEEN ALLOWED FOR. AN ON-SITE VARIATION WILL NEED TO BE COSTED & AGREED TO PRIOR TO ANY FRAMING BEING DONE.

PLUMBING PIPES IN THE EXISTING ROOF CAVITY OR WALLS.

EXISTING PLUMBING PIPES WILL BE INSPECTED WHEN WORK COMMENCES. ANY UPGRADE OR RECTIFICATION (INCL. RELOCATION) WORK REQUIRED WILL BE QUOTED ON SITE.

SPECIFICATION

- 2 / 90 X 38 EXTERNAL TOP PLATES
- 90 X 45 EXTERNAL BOTTOM PLATES
- 90 X 38 EXT STUDS @ 450 CTRS MAX
- 70 X 45 INT TOP & BOTTOM PLATES
- 70 X 45 INT STUDS @450 CTRS MAX
- HJ 200 ENGINEERED FLOOR JOISTS @ 450 CTRS MAX UNLESS OTHERWISE SPECIFIED BY ENGINEER

FLOORING FIRST FLOOR: STRUCTURAL SHEET.(UNSANDED). SCYON SECURA FLOORING TO WET AREAS.

FASCIA 180 X 25 TREATED PINE.

EAVE SOFFIT 4.5 mm F.C. SHEET.

BARGE 180 X 25 TREATED PINE.

WINDOWS AND EXTERNAL DOORS ALUMINIUM WINDOWS, WITH ALUMINIUM FRAMED NYLON MESH FLYSCREENS. **(FROM BUILDERS STANDARD RANGE).**

BRICKWORK N/A.

CLADDING FIRST FLOOR: 75mm RENDERED LIGHTWEIGHT CLADDING. LAID OVER FOIL SARKING.

ROOF PLUMBING 100 X 75 OR 100 X 50 POWDERCOATED DOWNPIPES POWDERCOATED QUAD GUTTERS




ROOF COVERING FIRST FLOOR: NEW TERRACOTTA ROOF TILES FROM BUILDERS STANDARD RANGE. LAY OVER FOIL SARKING.

INTERNAL LININGS INT. WALL = 10 mm PLASTERBOARD
CEILINGS - 10 mm PLASTERBOARD
WET AREA - 6 mm VILLABOARD
CORNICE - 90mm COVE CORNICE

INTERNAL FIXINGS JAMBS - EX 90 X 38 REBATED
FINGER JOINTED SKIRTING - EX 68 X 18 SPLAYED
PINE ARCHITRAVE - EX 68 X 18 SPLAYED

BUILT IN CUPBOARDS ALL WARDROBE SHELVEING AND HANGING RAILS TO BE SUPPLIED AND INSTALLED BY OWNER. LINEN TO HAVE 5 / 16MM THICK MELAMINE SHELVES.

DOORS 4 PANEL HOLLOW CORE FOR PAINT. DOOR HEIGHT 2040 UNLESS NOTED OTHERWISE.

ELECTRICAL TO ADDITIONS REFER TO SEPARATE ELECTRICAL LAYOUT FOR FURTHER INFORMATION.
TWO WAY LIGHT SWITCH ×—○—× 1.OFF
LIGHT POINTS ○—× 8.OFF
DOUBLE G.P.O.  12.OFF
SMOKE ALARM  1.OFF
IXL 4 LIGHT TASTIC  1.OFF
CIRCUITS 2.OFF
RCD safety switch to new power circuit 2.OFF

HOT WATER SYSTEM CONNECT TO EXISTING HOT WATER UNIT

STAIRCASE AND HANDRAILS TYPE: PINE CLOSED RISER TIMBER STRINGER
NOMINAL WIDTH: 900mm
RISE: 20No. x 170
TREAD: 240mm
FINISH: MAPLE TREADS & MDF RISERS, PINE SQUARE BALUSTRADE.
PROVIDE PINE CUPBOARD WALL & DOOR (INCLUDING UNDERSTAIR LINING) BY STAIR MANUFACTURER.

METALWORK INTERNAL: PRIMED, EXTERNAL: PRIMED

EXCAVATION EXCAVATION HAS BEEN ASSUMED TO BE IN SOIL, CLAY OR OTHER MATERIAL REASONABLY CAPABLE OF EXCAVATION WITH HAND TOOLS

INSULATION TO ADDITIONS ONLY CEILING TO FIRST FLOOR ADDITION: R 3.0 INSULATION. INTERNAL WALL BETWEEN MASTER BEDROOM & SHOWER ROOM TO FIRST FLOOR ONLY: R 2.0 SOUNDSCREEN INSULATION

PAINTING ADDBUILD DOES NOT INCLUDE INTERNAL OR EXTERNAL PAINTING OF ANY EXISTING AREAS AS THE REQUIRED PREPARATION MAY VARY.
ALL EXTERNAL PAINTING TO FIRST FLOOR ADDITION BY: BUILDER
NO OTHER PAINTING, INTERNAL OR EXTERNAL, HAS BEEN ALLOWED FOR UNLESS SPECIFICALLY NOTED OTHERWISE.

SPECIAL NOTES

- ALL BUILDING WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA.
- ALL DOOR FURNITURE TO BE SUPPLIED BY OWNER AND FIXED BY BUILDER.
- BATHROOM FIXTURES, FITTINGS, TAPS AND TILES TO BE SUPPLIED AND FIXED BY BUILDER.
- SHOWER SCREEN & MIRROR SUPPLIED AND FIXED BY BUILDER
- WALL TILES TO FIRST FLOOR SHOWER ROOM TO CEILING.
- SUPPLY & INSTALL IN-SCREED UNDERFLOOR HEATING INCLUDING THERMOSTAT TO FIRST FLOOR SHOWER ROOM.

WORKS BY OWNER

- RELOCATION OF TV ANTENNA & RAINWATER TANK IF REQUIRED.
- ALL WORK TO NEW & EXISTING AIR CONDITIONING TO BE CARRIED OUT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

DO NOT SCALE OFF DRAWINGS

ALL FINISHED GROUND LEVELS AND DIMENSIONS AS SHOWN ON PLAN ARE THEORETICAL ONLY AND ARE SUBJECT TO SITE CONDITIONS

1.1	TO ESTIMATING	RFA		31.07.24
2.1	TO CONTRACTS	RFA		07.08.24
2.4	TO VARI. No. 1 & 2, REDESIGN	RFA		20.02.25

NO.	ISSUE	DRWN	APP	DATE
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THIS IS THE PLAN REFERED TO IN THE CONTRACT DATED **DATE:**

SIGNED: OWNER

SIGNED: OWNER

SIGNED: BUILDER

PROPOSED GROUND FLOOR AND FIRST FLOOR ADDITIONS & ALTERATIONS

FOR: Mr. Alan TRAN & Ms. Joanna WANG

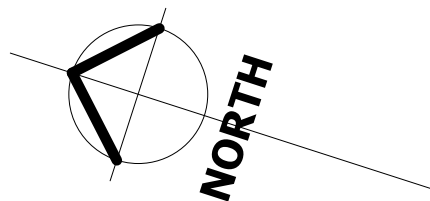
AT: 25 TREVENAR STREET,
ASHBURY, NSW, 2193

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Builders Licence No. 114851C A.B.N. 47 092 812 649

SCALE:	SHEET No:	JOB No:
1:100 1:200	01	1991/2.4



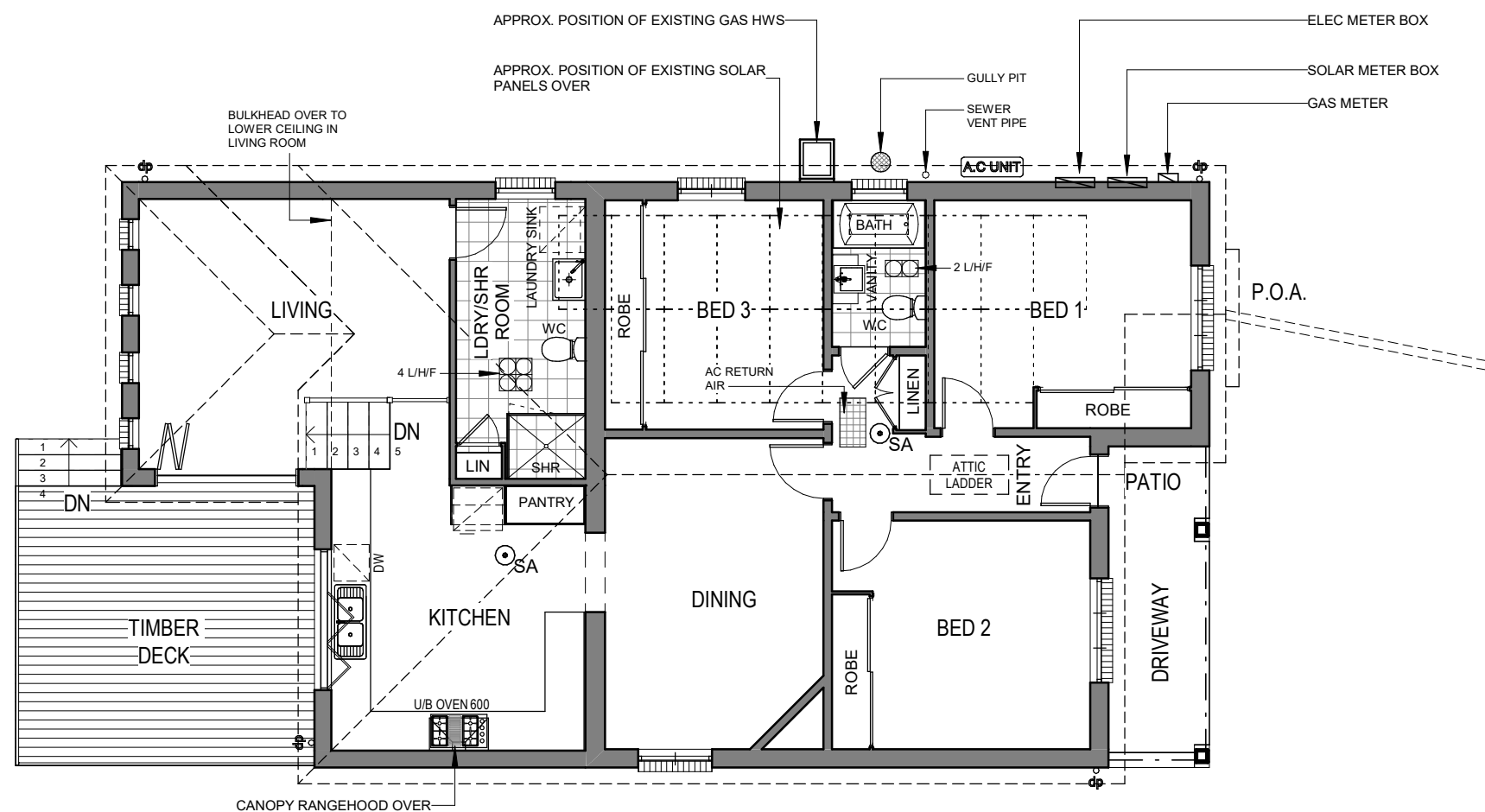
EXISTING STRUCTURE

FLOOR - BEARERS & JOISTS

EXTERNAL WALLS - CAVITY BRICKWORK 300mm, BRICK VENEER 250mm

INTERNAL WALLS - SINGLE BRICK RENDERED 140mm, TIMBER STUD 100mm

ROOF - CONVENTIONAL ROOF, TERRACOTTA TILE, 25° PITCH

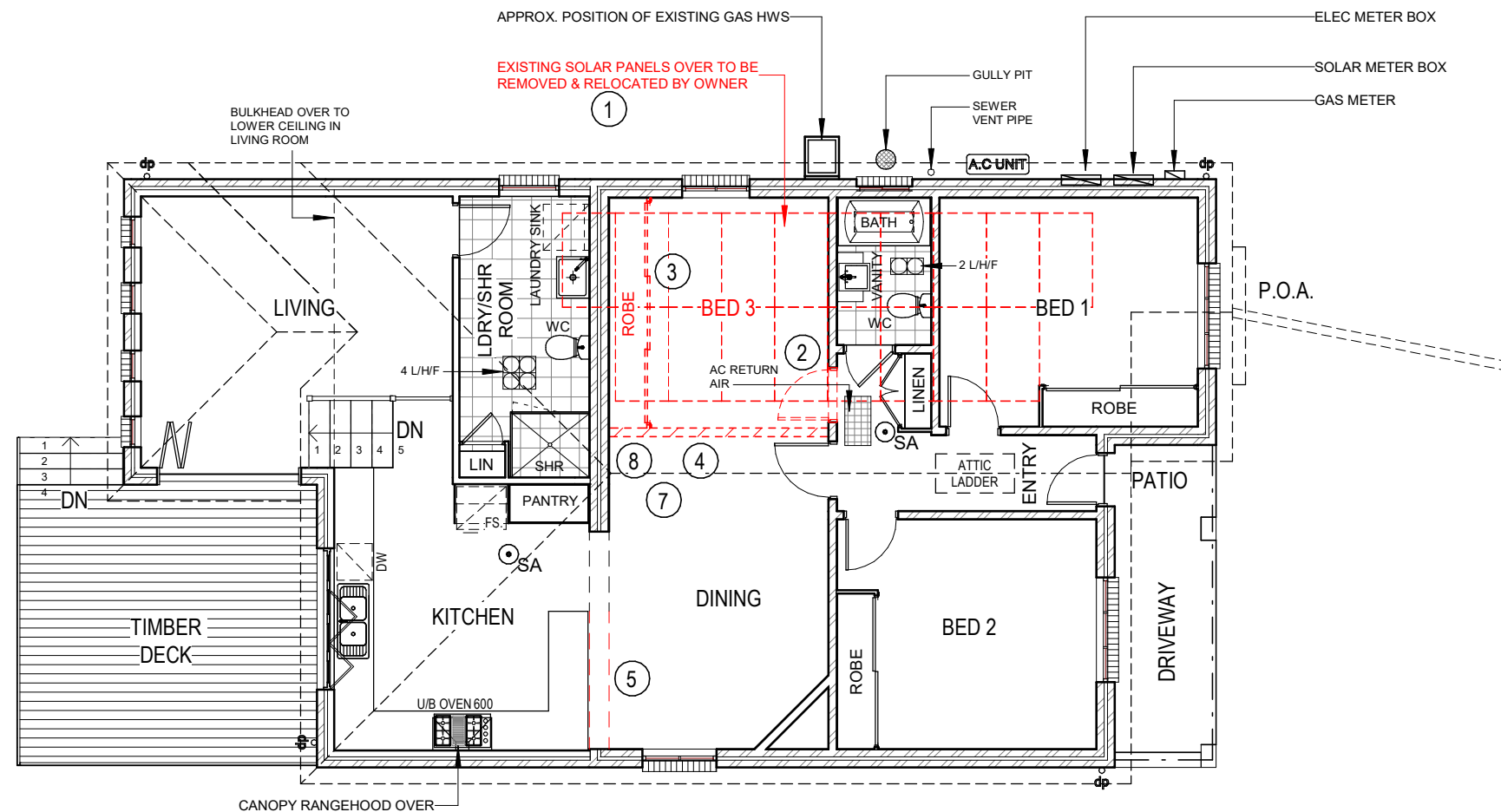
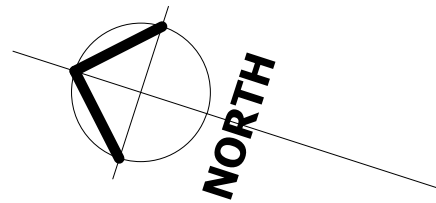


GROUND FLOOR - EXISTING

SCALE - 1 : 100

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GROUND FLOOR DEMOLITION NOTES

- ① EXISTING SOLAR PANELS TO BE REMOVED & RELOCATED BY OWNER.
- ② REMOVE EXISTING INTERNAL DOOR & CLOSE UP THE OPENING. REPAIR AFFECTED SURFACES, PAINTING BY OWNER.
- ③ STRIP OUT EXISTING BEDROOM 3 ROBE. REPAIR AFFECTED SURFACES, PAINTING BY OWNER.
- ④ DEMOLISH EXISTING INTERNAL SINGLE SKIN BRICK WALL AS SHOWN DASHED. REPAIR AFFECTED SURFACES, PAINTING BY OWNER.
- ⑤ EXTEND EXISTING SQ. SET OPENING TO THE EXTERNAL WALL OF THE HOME AS SHOWN DASHED IN RED. REPAIR AFFECTED SURFACES, PAINTING BY OWNER. NO ALLOWANCE FOR ANY RECTIFICATION WORK TO THE KITCHEN. KITCHEN FIT OUT & REPAIRS BY OWNER.
- ⑥ DELETED.
- ⑦ PART OF THE EXISTING ATTIC IN THE ROOF CAVITY MAY NEED TO BE DEMOLISHED & REMOVED TO SUIT THE PROPOSED FIRST FLOOR. NO ALLOWANCE FOR REMOVAL, TO BE DISCUSSED ON SITE.
- ⑧ CUT AN OPENING THROUGH THE EXISTING WALL TO SUIT THE NEW STAIR LOCATION.

GROUND FLOOR - DEMOLITION

SCALE - 1 : 100

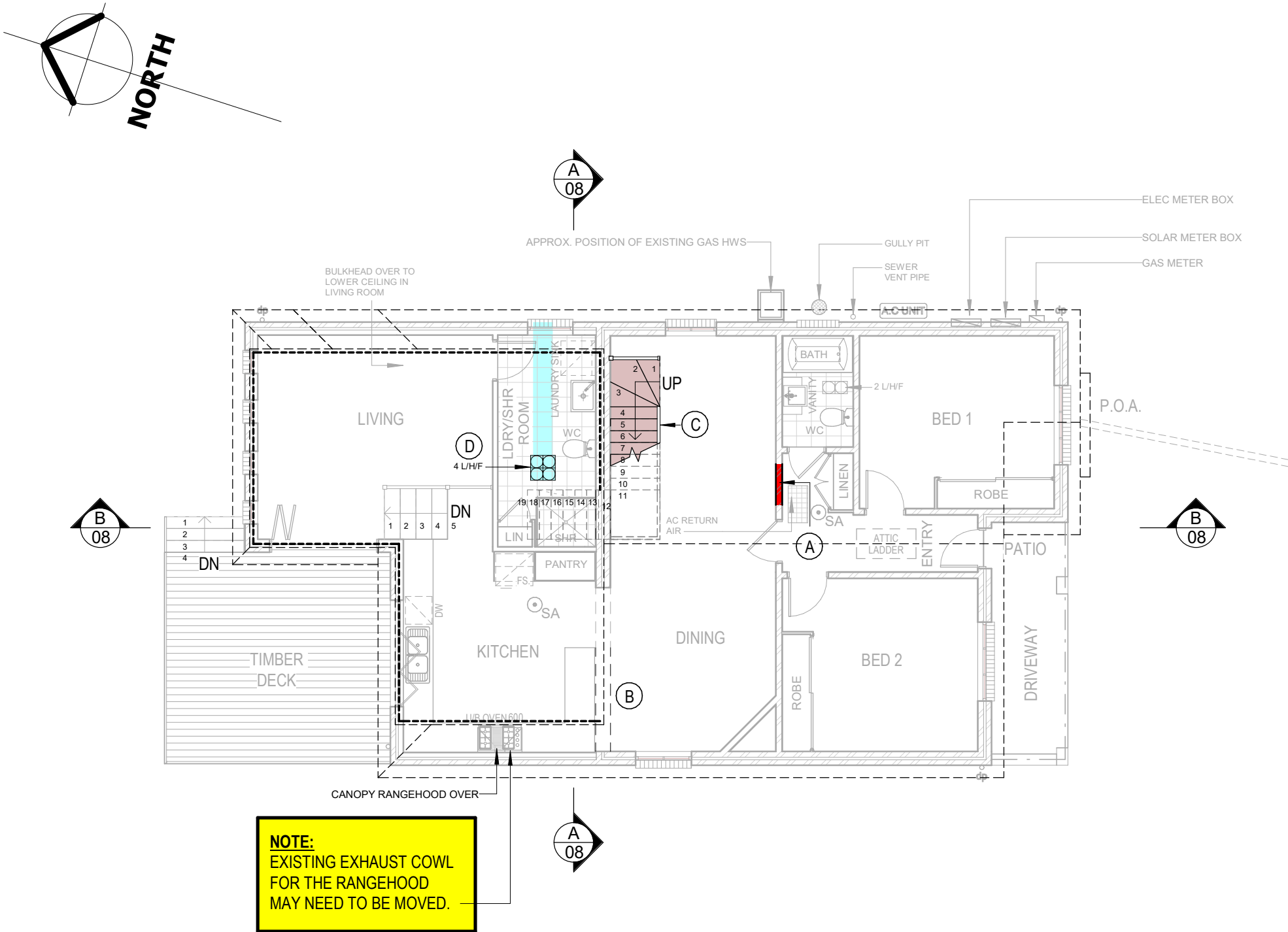
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NOTE: WHERE DUCTING TO AN EXISTING EXHAUST FAN HAS BEEN SPECIFIED, ONLY STANDARD FLEXIBLE DUCTING HAS BEEN ALLOWED FOR. SHOULD THE EXISTING EXHAUST FAN **NOT** BE COMPATIBLE WITH STANDARD FLEXIBLE DUCTING, THE OWNER IS TO SUPPLY A NEW EXHAUST FAN FOR INSTALLATION BY THE BUILDER OR OTHER DUCTING METHODS TO BE QUOTED ON SITE.

GROUND FLOOR CONSTRUCTION NOTES

- (A) CLOSE UP PREVIOUS INTERNAL DOOR OPENING. REPAIR AFFECTED SURFACES, PAINTING BY OWNER.
- (B) EXTEND EXISTING SQ. SET OPENING TO THE EXTERNAL WALL OF THE HOME AS SHOWN DASHED IN RED. REPAIR AFFECTED SURFACES, PAINTING BY OWNER. NO ALLOWANCE FOR ANY RECTIFICATION WORK TO THE KITCHEN. KITCHEN FIT OUT & REPAIRS BY OWNER.
- (C) STAIR MANUFACTURER TO CONSTRUCT A SMALL SHOE CUPBOARD BELOW THE STAIRS. FINAL DESIGN & CONFIGURATION TO BE DETERMINED DURING YOUR CONSULTATION WITH THE STAIR MANUFACTURER.
- (D) DUCT EXISTING EXHAUST FAN TO OUTSIDE AIR. PLEASE REFER TO NOTE ABOVE.



GROUND FLOOR - PROPOSED
SCALE - 1 : 100

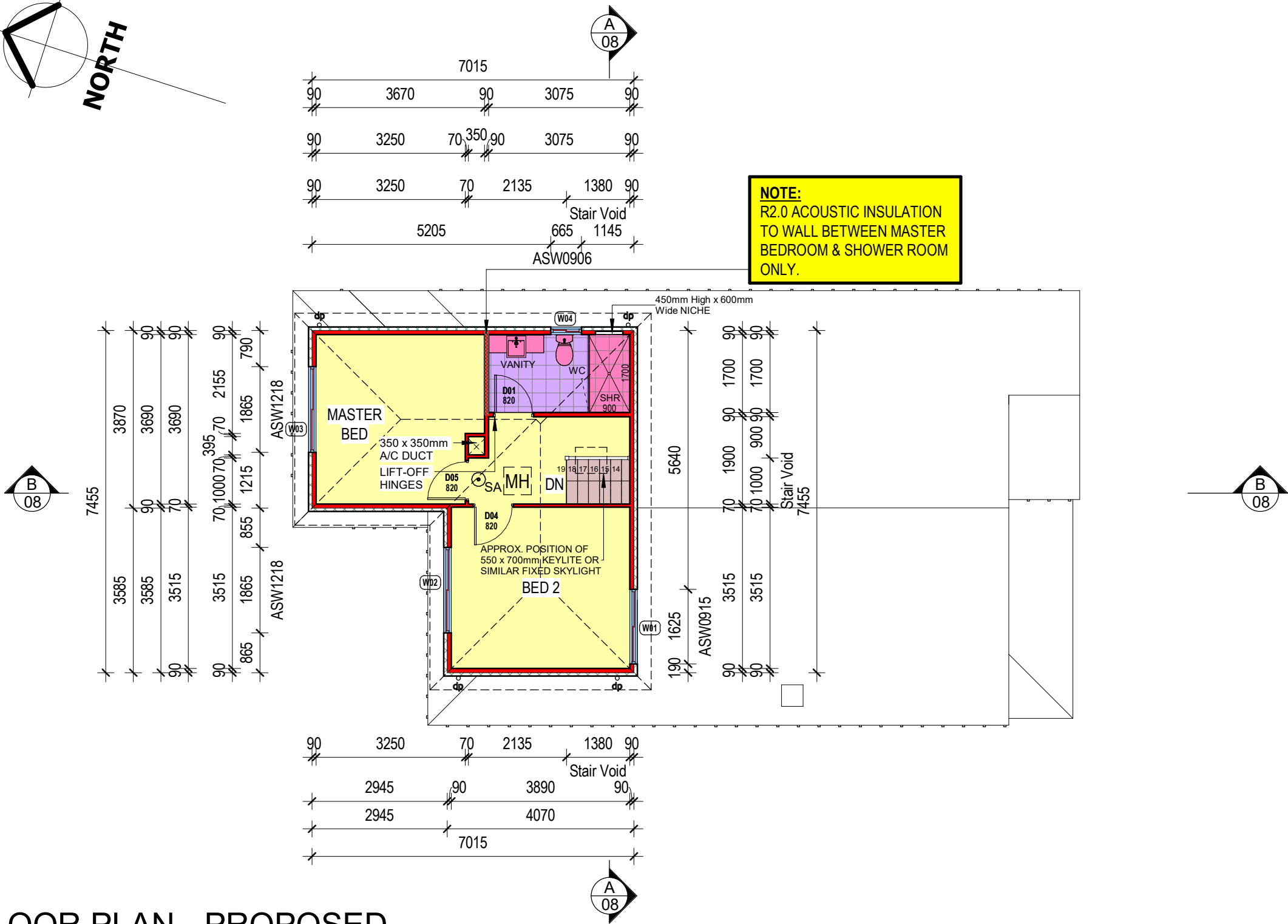
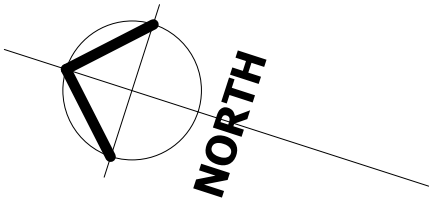
NOTE: THE AREAS SHOWN IN GREY ARE EXISTING & INDICATIVE ONLY. NO REMEDIAL OR RENOVATION WORK IS TO BE CARRIED OUT IN THESE AREAS UNLESS DISCUSSED WITH THE SUPERVISOR & THE OWNER **PRIOR** TO THE COMMENCEMENT OF ANY WORK.

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WINDOW & SLIDING DOOR Schedule - Standard Domestic Range

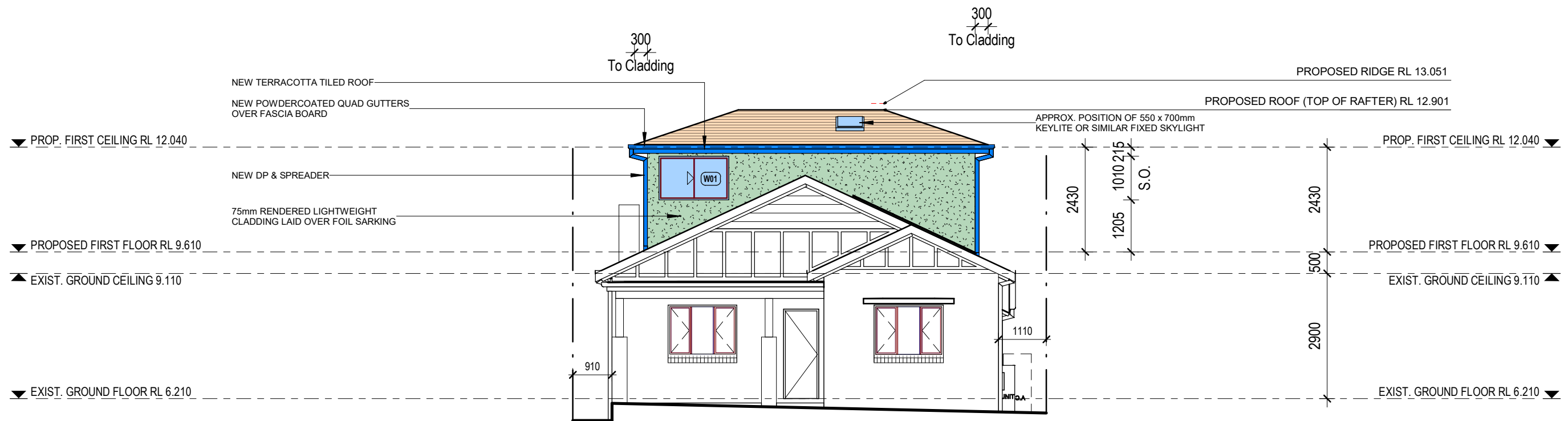
Window No.	Stud Opening Height	Stud Opening Width	Frame Height	Frame Width	Assembly Code	Window Style	Glazing	Comments	Restricted Opening	Notes	Basix	Flyscreen
W01	1010	1625	945	1570	ASW0915	SLIDING	CLEAR		Yes			Yes
W02	1265	1865	1200	1810	ASW1218	SLIDING	CLEAR		Yes			Yes
W03	1265	1865	1200	1810	ASW1218	SLIDING	CLEAR		Yes			Yes
W04	925	665	860	610	ASW0906	SLIDING	TRANSLUCENT		No			Yes



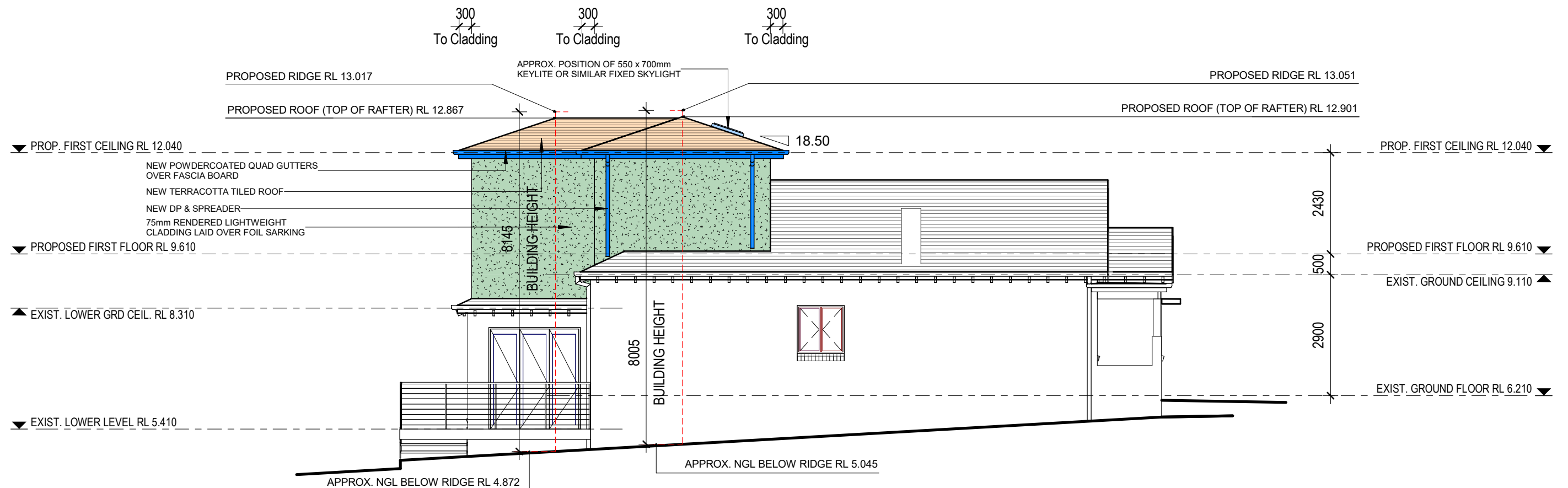
FIRST FLOOR PLAN - PROPOSED
SCALE - 1 : 100

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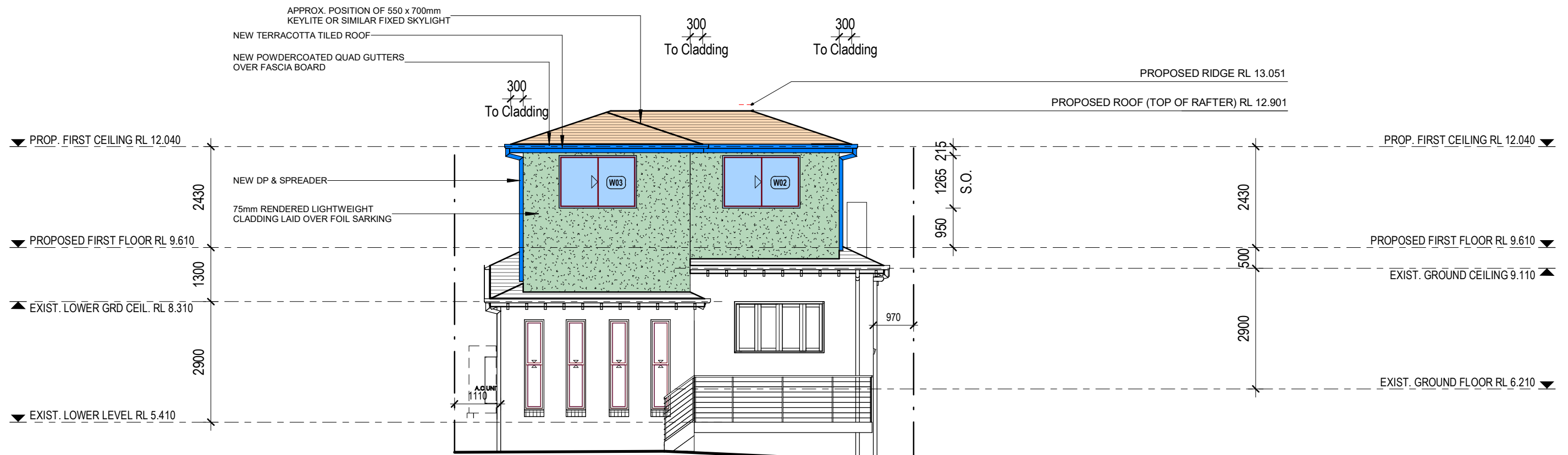
SOUTH (FRONT) ELEVATION
SCALE - 1 : 100



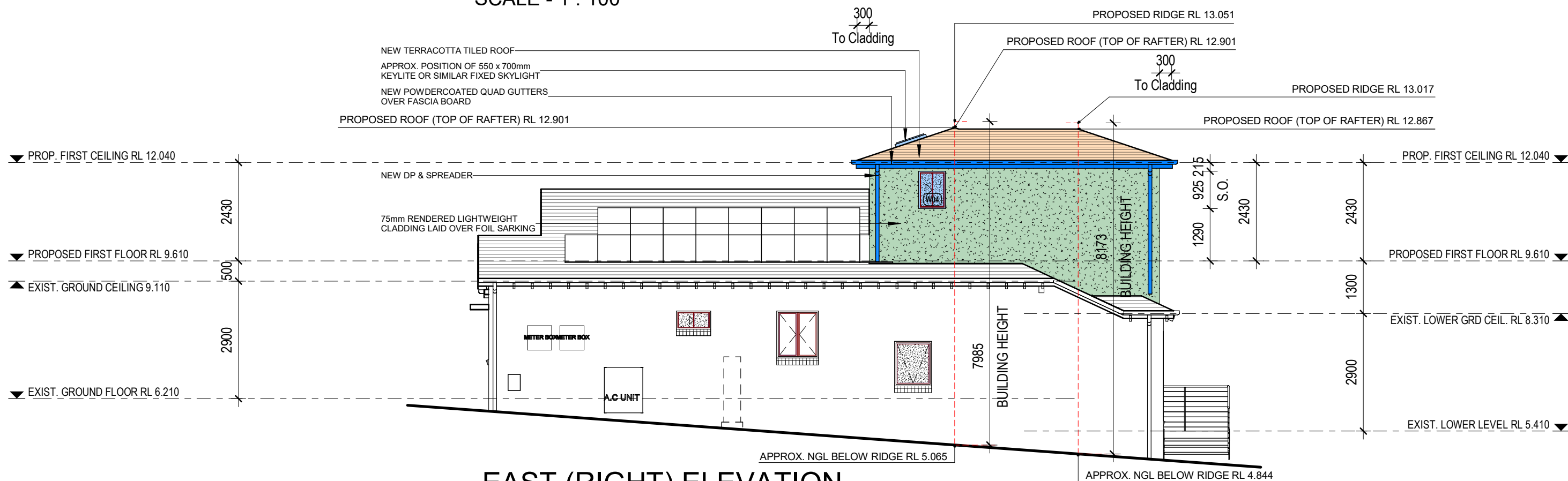
WEST (LEFT) ELEVATION
SCALE - 1 : 100

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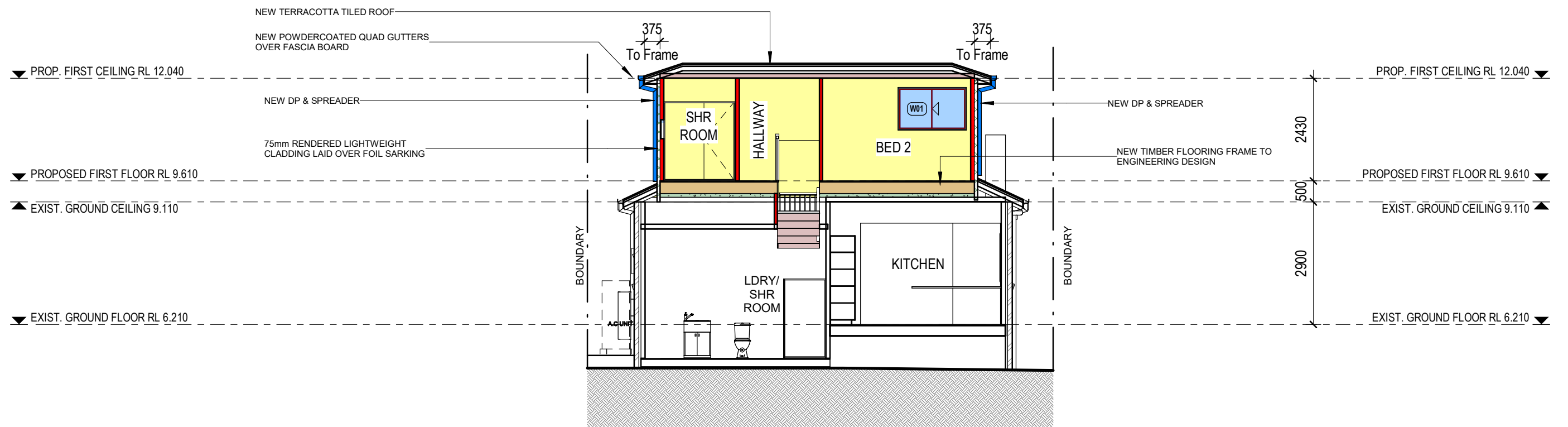
NORTH (REAR) ELEVATION
SCALE - 1 : 100



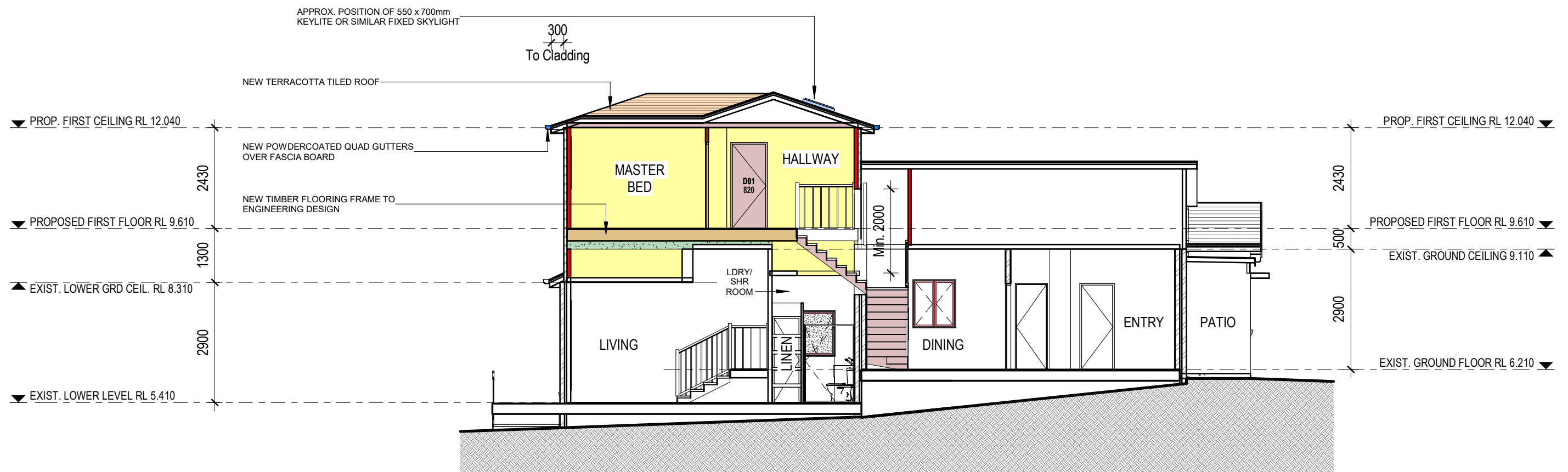
EAST (RIGHT) ELEVATION
SCALE - 1 : 100

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SECTION A-A



SECTION B-B

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